



North View Home Inspections L.L.C.

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Inspected By: Walter Krisa



Home Inspection Report

Prepared For:

Unspecified Client

Property Address:

Undisclosed Address

Inspected on Sun, Oct 19 2014 at 11:56 AM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Safety Hazard: At the time of inspection, the component being referenced denotes a condition that is unsafe and or something that could cause a person or animal to be injured or killed. Immediate action should be taken to remedy the defect as soon as possible.

Money: The component(s) being referenced may exceed \$1000.00 to remedy if work is performed by a qualified and licensed contractor.

Disclaimers

About Mold:

Regarding mold in a home or building, North View Home Inspections L.L.C. will report any substance that appears to be mold; however, the only way to determine if mold is present is to have a certified mold specialist inspect and test for mold. North View Home Inspections L.L.C. does not perform mold testing or mold inspections. Any mention of mold in this report should be considered a recommendation to bring a mold specialist to inspect and test for mold.

Change Locks:

After moving into the house, it is strongly recommended to have the locks changed or re-keyed if applicable. Over the years, previous owners may have distributed keys to family and friends. A new set of locks would ensure privacy and security. If the house has remote garage door openers, we also recommend changing the access code(s) as well.

Level 2 Fireplace Inspection:

North View Home Inspections L.L.C. performs a level 1 fireplace inspection as part of the general home inspection. It is recommended that any home, single family, multi-family, condominium or town house that has a fireplace, wood burning or pellet stove get a level 2 fireplace inspection by a licensed certified contractor. NorthView Home Inspections L.L.C. is not certified to do a level 2 fireplace inspection according to NYS regulations.

Visual Limitations:

Numerous areas of the structure such as attics, basements, crawlspaces, walls, floors and other surfaces may have been inaccessible or obstructed during the inspection by furniture and/or stored items. North View Home Inspections L.L.C. makes every effort to do the most thorough home inspection while being non- intrusive, and in compliance with New York State Regulations and Code of Ethics.

(Disclaimers continued)

Wood Destroying Organisms:

This report is not a guarantee or warranty as to the absence of wood destroying organisms, nor is it a guarantee that the inspector found all areas where wood destroying organisms dwell or any damage that may exist. Wood destroying organisms may exist in concealed or inaccessible areas. This report is not a structural integrity report and there is no warranty, expressed or implied, included in this report. Recommend certified pest management person to perform a NPMA inspection.

Property Disclaimer:

This home inspection does not determine the boundaries of the property or whether appropriate permits for additions or improvements have been obtained and closed out with the local building department. Also, this report does not address title or zoning issues, easements, covenants, deed restrictions, and the like. These issues should be addressed by your title company and/or your attorney. This report does not determine the value of the property or the comparative value to similar homes in or around the area. A (CMA) "competitive market analysis" can be obtained from your realtor.

State Limitations:

Section 197-5.16 (A). Home inspectors are not required to observe any item that is concealed or not readily accessible to the home inspector. The home inspector is not required to move furniture, personal or stored items, lift floor coverings, move attached wall or ceiling coverings or panels, or perform any test or procedure which could damage or destroy the item being evaluated. (B). Home inspectors are not required to observe appliances, recreational facilities, alarm systems, intercoms, speaker systems, radio controlled devices, security devices and lawn irrigation systems. (C). Home inspectors are not required to determine the presence or absence of any hazardous substance including but not limited to, latent surface and/or subsurface volatile organic compounds, PCB's, asbestos, urea formaldehyde insulation, toxins,

(Disclaimers continued)

carcinogens, diseases, wood destroying organisms, mold, hazardous plants, illicit drugs or drug making equipment, lead paint, noise or contaminants in soil, water, air quality, wet lands or any other environmental hazard. (D). Except as otherwise necessary and required by this Standards of Practice, home inspectors are not required to use special instruments or testing devices, such as amp meters, pressure gauges, moisture meters, gas detectors and similar equipment. (E). Home inspectors are not required to report on real property, geological, environmental or hazardous waste conditions, manufacturer recalls or conformance of proper manufacturer installation of any component or system, or information contained in the Consumer Protection Bulletins. Home inspectors are not required to report on past or present violations of codes, ordinances or regulations. (F). Home inspectors are not required to provide an inspection of any condominium common component or system, or to evaluate condominium reserve accounts. (G). Home inspectors are not required to enter any residential building or area of a building that, in the opinion of the home inspector, is dangerous to the safety of the home inspector or others or that will result in the damage to the property, its systems or components. (H). Home inspectors are not required to enter any area or perform any procedure which, in the opinion of the home inspector, may damage the property or its components. (I). Home inspectors are not required to observe any system or component that is not included in this Standards of Practice. (J). Home inspections performed in accordance with these Standards of Practice are not technically exhaustive and are not required to identify concealed conditions, latent defects or consequential damages. (K). Home inspectors are not required to determine: 1. Conditions of systems or component

(Disclaimers continued)

that are not readily accessible; 2. The remaining life expectancy of any system or component; 3. The strength, adequacy, effectiveness or efficiency of any system or component; 4. The causes of any condition or deficiency; 5. The methods, materials or costs of corrections; 6. The future condition of a system or component, including, but not limited to, the failure of the system and/or components. 7. The suitability of the property for any specialized use; 8. The advisability of the purchase of the property; 9. The presence of potentially hazardous plants or animals including, but not limited to, wood destroying organisms or disease harmful to humans including molds or mold-like substances; 10. The presence of any environmental hazard including, but not limited to, toxins, carcinogens, noise, and contaminants in the soil, water, and air; 11. The effectiveness of any system installed or method utilized to control or remove suspected hazardous substances; 12. Operating costs of systems of components; 13. Acoustical properties of any system or component; 14. Soil conditions related to geo-technical or hydronic specialities. (L). Home inspectors are not required to offer: 1. To perform work in any trade or profession other than home inspection; 2. Warranties or guarantees of any kind. (M). Home inspectors are not required to operate: 1. Any system or component that is shut down or otherwise in operable; 2. Any system or component that does not respond to normal operating controls and shall not be required to dismantle any system or component, except as explicitly required by these Standards of Practice; 3. Shut off valves or manual stop valves; 4. Any system or component that, in the opinion of the home inspector, is dangerous to the home inspector or other persons, or will result in damage to the residential building, it's systems or its components. (N). Home inspectors are not required to observe: 1. Concealed spaces or components or

(Disclaimers continued)

underground items including, but not limited to, underground storage tanks or other underground indications of their presence, whether abandoned or otherwise; 2. Items that have not been installed; 3. Installed decorative items; 4. Items that are not entered in accordance with the subdivision 15 of this section; 5. Detached structures other than garages and carports. (O). Home inspectors shall not be required to describe or report on any system or component that is not included in these Standards of Practice and was not inspected. (P).Home inspectors shall not be required to move personal property, furniture, equipment, plants, soil, snow, ice, or debris. (Q).These Standards of Practice are not intended to limit home inspectors from excluding systems and components from the home inspection if requested by the client.

General Information

Overview:

Report Number:	100
Inspector:	Walter Krisa
NYS Home Inspection Number:	16000065166
Start Time:	12:00pm
End Time:	
Property Type:	Single Family
Location:	
Stories:	Two
House Number:	On mailbox
Approximate Age Of House:	21 years old
Age Based On:	Sellers Disclosure
Furnished:	Yes
Occupied:	Yes
Weather:	Sunny
Temperature:	Cool
Ground Condition:	Dry
Foundation:	Finished basement walkout

(General Information continued)

Utilities On During Inspection: Yes
 People Present: Owner
 Client's Signature:
 Excluded From Inspection: Shed, Well, Water softener, Septic system, Water treatment system

Roofing And Ventilation

New Item:
 Inspection Method: Walked roof
 Roof Type: Cross gable
 Roof Covering: Asphalt shingle
 Condition: Marginal
 Roof Approximate Age: Older
 Exact Roof Age: 21 years old
 Roof Ventilation: Soffit vents, Roof vents, Ridge vent
 Condition: Satisfactory
 Defects Observed: Particulates released, Moss
 Condition: Marginal
 Roof Penetrations: Roof vents, Vent pipe, 3 skylights
 Condition: Marginal
 Chimney Material: Metal
 Condition: Marginal
 Chimney Flue:
 Condition: Satisfactory
 Spark Arrester:
 Condition: Satisfactory
 Rain Cap:
 Condition: Satisfactory
 Flashing:
 Condition: Marginal
 Gutter Material : Aluminum
 Condition: Satisfactory
 Downspout Material: Aluminum
 Condition: Marginal
 Gutter Extensions: Drain pipe
 Condition: Further Evaluation Required
 Eave Overhang: 6" to 12"

(Roofing And Ventilation continued)



Comment 1:

The roof shingles are a three tab asphalt shingle approximately 21 years old. The average life expectancy is usually 20 - 25 years. The shingles are in marginal condition with some wear and particulates in the gutters. Budget for a new roof in 3 -5 years.



Figure 1-1



Figure 1-2



Figure 1-3



Figure 1-4

(Roofing And Ventilation continued)



Comment 2:

One or more sections of the roof covering in the front of the house appears to be stained with an algae or fungus like substance. The staining and discoloration is more or a cosmetic and aesthetic issue than a defect. Recommend a qualified contractor or professional cleaning company to evaluate and make recommendations.



Figure 2-1



Figure 2-2

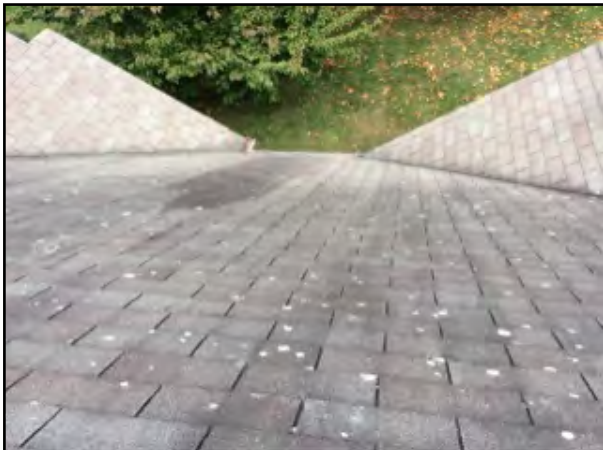


Figure 2-3

Exterior Walls

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Vinyl Siding Condition: Satisfactory
Condition Of Wall:	Condition: Satisfactory
Wall Structure:	Wood frame Condition: Satisfactory
Exterior Trim Material:	Vinyl Condition: Satisfactory
Trim Condition:	Condition: Satisfactory
Windows:	Vinyl Condition: Repair or Replace
Entry Doors:	Steel Condition: Satisfactory
Side Door Material:	Steel, Storm door needs repair Condition: Marginal
Back Door Material:	Vinyl Condition: Satisfactory
Balconies:	Not Present
Electrial Service Type:	Underground Condition: Unable to determine
Electrial Service Size:	100amp Condition: Satisfactory
Drip Loop Present:	Not Present
Voltage:	120/240 volts
Meter Caulking:	Condition: Marginal
Conduit:	Present Condition: Satisfactory
High Efficiency Piping For Heating System:	Not Present

(ExteriorWalls continued)



Comment 3:

The exterior wall covering and soffits are a vinyl product. The fascia trim is wrapped in aluminum. These areas do not require painting. The siding, fascias and soffits are in good condition.

The gutters are aluminum and appear to be pitched properly to divert rain water to the downspouts. The downspouts are tied into an underground pipe or drainage system. Inspector was not able to verify if these drains are clear and are functioning properly. Recommend monitoring after a heavy rain and get a qualified contractor to test drainage system.



Figure 3-1



Figure 3-2



Figure 3-3



Figure 3-4

(ExteriorWalls continued)



Figure 3-5

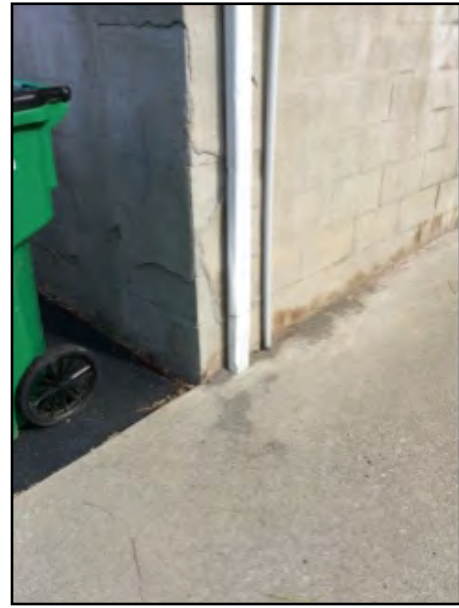


Figure 3-6



Figure 3-7

(ExteriorWalls continued)



Comment 4:

One vinyl double hung window on the ground level has a broken window pane. Repair and replace as necessary.



Figure 4-1



Comment 5:

There were two exhaust vents that were stuck in the open position. One vent appears to be a dryer vent and the other could be the air intake from the mechanical room. Recommend qualified contractor to clean duct and repair as necessary.



Figure 5-1

(ExteriorWalls continued)



Comment 6:

The outlet under the deck is not a GFCI protected outlet. All exterior outlets must be GFCI protected. Recommend electrician to install GFCI receptacle and repair as necessary.



Figure 6-1



Comment 7:

The storm door on the garage side of the house did not operate properly. Recommend contractor to repair as necessary.

Exterior Grounds

New Item:

Exterior Of Foundation Walls:	Block
	Condition: Marginal
Exterior Foundation Exposure:	More than 3 feet
	Condition: Marginal
Exterior Foundation Observations:	
	Condition: Marginal
Grading Within 6 Feet Of House:	About level
Grading Beyond 6 Feet Of House:	Slopes away from house in back
Driveway Material:	Asphalt
Driveway Condition:	Small cracks
	Condition: Marginal

(Exterior Grounds continued)

Walkway To Front Entry:	Pavers Condition: Marginal
Walkway Condition:	Condition: Marginal
Front Entry Steps/ Stoop:	Condition: Satisfactory
Patio Material:	Concrete Condition: Satisfactory
Patio Location:	Rear of house Condition: Satisfactory
Patio Condition:	Condition: Marginal
Deck Location:	In rear of house Condition: Satisfactory
Deck Material:	Wood, Composite Condition: Satisfactory
Deck Condition:	Condition: Satisfactory
Deck Railing Condition:	Condition: Satisfactory
Deck-Handrail On Steps:	Condition: Satisfactory
Deck Steps To Grade:	Fifteen Condition: Satisfactory
Visibility Under Deck:	5 feet or more and clear Condition: Satisfactory
Deck Support Columns:	Wood Condition: Satisfactory
Deck Support Column Condition:	Condition: Satisfactory
Retaining Walls:	Unilock Condition: Marginal
Fence Material:	Not Present
Trees Shrubs Vegetation Too Close To House:	On the left side, Yes
Well Head Location:	Front yard
Well Head Cap:	Non sanitary Condition: Repair or Replace

(Exterior Grounds continued)

Air Conditioner Condensor Condition:	Rusty Condition: Marginal
Air Conditioner Electrical Disconnect:	Noted in good condition Condition: Satisfactory
A/C During Operation:	Did not operate due to the ambient temperature being less than 65 degrees
A/C Pad:	Concrete good condition Condition: Satisfactory
A/C Refrigerant Line:	Missing insulating Condition: Repair or Replace



Comment 8:

The exterior foundation walls are made up of concrete block. There are some areas that have loose or missing stucco. Recommend mason contractor to repair as necessary.



Comment 9:



Figure 9-1

(Exterior Grounds continued)



Comment 10:

The driveway is an asphalt driveway in marginal condition. There are numerous cracks and areas of settlement in the driveway especially in front of the left side of the garage door. Recommend asphalt contractor to repair as necessary.



Figure 10-1



Figure 10-2



Figure 10-3

(Exterior Grounds continued)



Comment 11:

Some shrubs are in contact with the side of the house. Recommend pruning of shrubs to avoid moisture buildup.



Figure 11-1



Comment 12:

There is a missing switch plate cover for an outside power source to an abandoned pool. Recommending replacing and repairing as necessary by qualified electrician.



Figure 12-1

(Exterior Grounds continued)



Comment 13:

The deck consists of pressure treated framework with composite decking. The deck, support posts, girders, stairs and railings appear to be in good condition.



Figure 13-1



Figure 13-2



Figure 13-3



Figure 13-4

(Exterior Grounds continued)



Figure 13-5



Comment 14:

The air conditioning condenser is in marginal condition with some rust noted. The unit cannot be tested due to the ambient temperature being below 65°. Recommend qualified HVAC contractor to test the near future.



Figure 14-1



Figure 14-2

(Exterior Grounds continued)



Figure 14-3



Comment 15:

The refrigerant line to the AC condenser is missing insulation. Recommending HVAC contractor to repair as necessary.



Figure 15-1

(Exterior Grounds continued)



Comment 16:

The well head cap located in the front yard is not a sanitary well cap. This can allow bacteria and other elements to infiltrate the water supply. This is a health issue and recommend qualified well contractor to assess and make recommendation.



Figure 16-1

Attached garage

New Item:	
Number Of Bays:	Two
Visibility Limited By ::	Condition: Satisfactory Clear visibility
Floor:	Concrete
Floor Condition:	Condition: Satisfactory
Wall Structure:	Condition: Satisfactory Wood frame, Masonry
Framing Of Walls:	Condition: Satisfactory Drywall covered
Garage Door Type (Automobile):	Condition: Satisfactory Two
	Condition: Satisfactory

(Attached garage continued)

Style Of Automobile Doors:	Overhead Condition: Satisfactory
Garage Door Material (Automobile):	Steel Condition: Satisfactory
Operated Electric Garage Door Openers:	Yes and operated as designed Condition: Satisfactory
# Of Electric Door Openers:	Two Condition: Satisfactory
Garage Door Condition(Auto):	Condition: Satisfactory
Garage Door Opener Connected Directly To Outlet:	Yes
Photo Electric Device:	Present Condition: Satisfactory
Photo Electric Device:Functioned:	Yes, Operated as designed Condition: Satisfactory
Lift Cable Condition:	Condition: Satisfactory
Springs Condition:	Condition: Marginal
Safety Cable In Spring:	Noted Condition: Marginal
Door Release Rope:	Noted Condition: Satisfactory
Non Automobile Door(s):	One Condition: Marginal
Door To Interior:	Self closing Condition: Repair or Replace
Door To Interior Made Of:	Fire rated Condition: Satisfactory
Garage Windows:	Two Condition: Satisfactory
Garage Window Condition:	Condition: Satisfactory
Electric outlets:	Present Condition: Safety Hazard
GFCI Outlet(s):	One Condition: Satisfactory

(Attached garage continued)



Comment 17:

Garage ceiling outlet is missing switch plate cover. Recommend electrician to repair and replace as necessary with new switch plate cover.

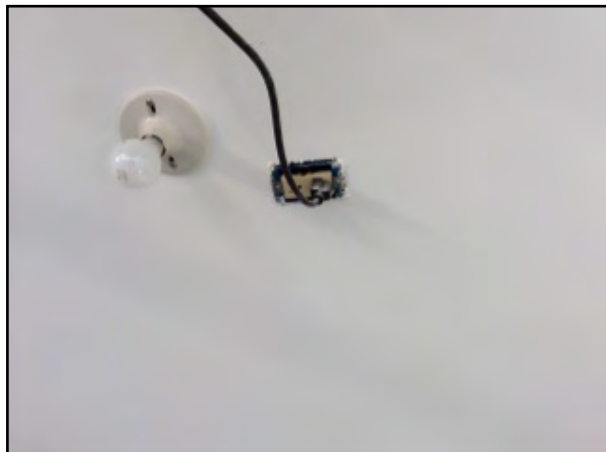


Figure 17-1



Comment 18:

The interior garage door was a fire rated door however it not self close. Recommend carpenter contractor to repair as necessary.

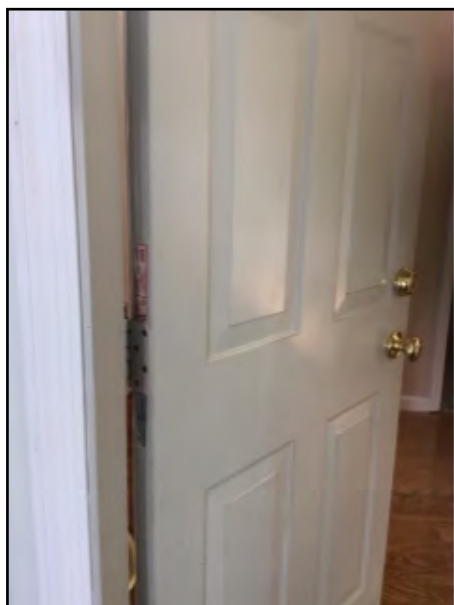


Figure 18-1

(Attached garage continued)



Comment 19:

The garage ceiling had an area missing sheet rock above the electric panel. This can allow exhaust fumes to enter the living space above. Recommend contractor to repair as necessary.



Figure 19-1



Figure 19-2



Comment 20:

Garage windows operating as designed and were in good condition.

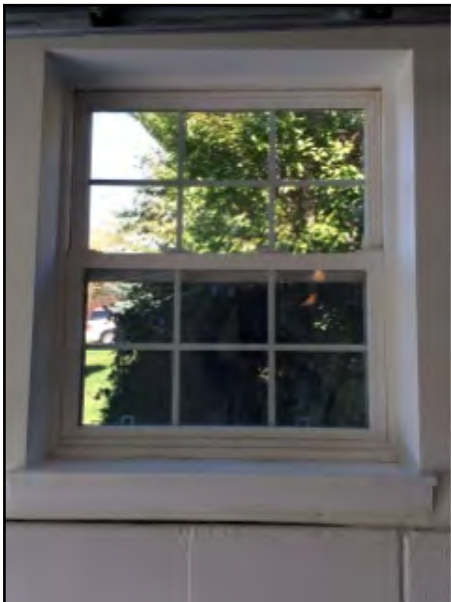


Figure 20-1

(Attached garage continued)



Comment 21:

The window in the storage room next to the garage has a broken window pane. Recommend qualified contractor to repair as necessary.



Figure 21-1



Comment 22:

There were a total of three outlets in the garage on the walls and two outlets on the ceiling. All outlets in a garage must be GFCI protected. Recommend electrician to replace outlets with GFCI protected outlets.



Figure 22-1



Figure 22-2

(Attached garage continued)



Figure 22-3

Attic

New Item:	
Attic Access:	Pull down stairs Condition: Satisfactory
Entry Through:	Hallway Condition: Satisfactory
Attic Observed:	Limited viewing Condition: Satisfactory
Roof Framing System:	Rafters Condition: Satisfactory
Roof Decking Material:	Plywood Condition: Satisfactory
Rafters Inches Apart:	16 inches Condition: Satisfactory
Moisture Penetration:	None noted Condition: Satisfactory
Attic Floor System:	Some flooring Condition: Safety Hazard
Attic Floor Framing:	Wood joists Condition: Satisfactory
Ventilation:	Ridge vent, Soffit vent Condition: Satisfactory
Vent Risers:	PVC Condition: Repair or Replace

(Attic continued)

Soffit Vents:	Working Condition: Satisfactory
Insulation Location:	Floor Condition: Satisfactory
Insulation Material:	Fiberglass roll/ batt Condition: Satisfactory
Bathroom Vent Ductwork:	Noted and goes out to vented soffit Condition: Satisfactory



Comment 23:

The roof sheathing appeared to be in good condition with no evidence of moisture penetration or mold. The attic was well insulated and had proper ventilation from the soffits to the ridge.



Figure 23-1

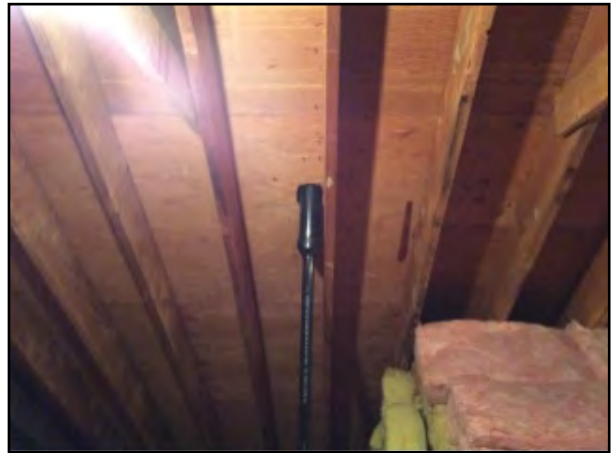


Figure 23-2

(Attic continued)



Figure 23-3



Comment 24:



Figure 24-1



Comment 25:

The attic floor had areas of missing plywood around attic stair entryway. If attic is going to be used as a storage area recommend installing plywood floor to avoid falling into the ceiling below.

(Attic continued)



Comment 26:

The chimney flue pipe had some daylight showing from in the inside of the attic. This area might be susceptible to a wind driven rain and allow water to penetrate to the interior. Recommend roofing contractor to evaluate and repair as necessary.



Figure 26-1

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Location Of Main Service Panel:	Garage
	Condition: Satisfactory
Main Service Panel Condition:	Condition: Satisfactory
Location Of Main Disconnect:	Top of panel
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Service Line Conductor Material:	Aluminum
	Condition: Satisfactory
Service Panel Manufacturer:	Crouse Hinds
	Condition: Satisfactory

(Electrical continued)

Service Voltage:	240 volts
Service Amperage:	100 amps
Service Panel Ground Observed:	Exterior Ground Rod buried, Ground wire goes under asphalt
GFCI/AFCI Breakers:	Yes
	Condition: Satisfactory
Branch Circuit Wiring:	NM sheathed (Romex)
	Condition: Satisfactory
Smoke Detectors:	9 volt Battery Type, Hard Wired
	Condition: Working at the time of inspection
Service Conductor Material:	
	Condition: Satisfactory
Aluminium Branch Wiring:	No
Double Tapped Breaker(s):	No
Room In Main Panel For Additional	No
Breakers:	Condition: Satisfactory
Missing Covers:	No missing covers
15 Amp Breaker:	14 gauge wire
	Condition: Satisfactory
20 Amp Breaker:	12 gauge wire
	Condition: Satisfactory
30 Amp Breaker:	12 gauge wire
	Condition: Satisfactory
Ground Connection Feels Secure:	Secure
	Condition: Satisfactory
If Grounded To Water Main, Is	N/A
Meter Jumped:	
GFCI Outlet Next To Panel:	Yes
	Condition: Satisfactory
Generator Backup:	Not Present

(Electrical continued)



Comment 27:

The electric panel is located in the garage and appears to be in satisfactory condition with no defects noted and grounded properly. However, there is no additional room in the electric panel for expansion. All circuit breakers are labeled. There appears to be no double tap breakers.



Figure 27-1



Figure 27-2

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service Type:	Well system
Main Entry Supply Pipe Material:	Polybutelyne
	Condition: Satisfactory
Location of Main Water Shutoff:	In basement closet under stairs
Interior Supply Pipes:	Copper
	Condition: Satisfactory
Waste Pipe Material:	Not visible
House Trap:	Not visible
Waste Line Cleanouts:	Not visible
Location of Fuel Shutoff:	In laundry room
Vent Pipe Observed:	

(Plumbing continued)

Fuctional Flow Test With Multiple Fixtures Running:: Acceptable decrease in flow



Comment 28:

The lower level was finished living space. Numerous drain and water lines were not visible due to the basement being finished. No active leaks were noticed at or on the basement ceiling.

Water Heater

Location:	Next to boiler, In mechanical room Condition: Satisfactory
Manufacturer:	Bradford White
Fuel:	Natural Gas
Capacity:	40 gal
Fuel/Energy Source:	Natural gas
Capacity:	40 gallons Condition: Satisfactory
Fuel Disconnect:	In Same Room
Estimated Age Of Unit:	Newer Condition: Satisfactory
Temp & Pressure Relief Valve:	Present With Blow Off Leg Condition: Satisfactory
Drain Discharge To::	To floor Condition: Satisfactory
Condition:	Condition: Satisfactory
Safety Extension:	Present Condition: Satisfactory
Exhaust Duct:	Condition: Satisfactory
Gas Line:	Present Condition: Satisfactory
Tested Hot Water::	Hot water received at faucets

(Water Heater continued)



Comment 29:

The water heater is a 40 gallon gas fired unit located in the basement which operated properly on the date of inspection. The tank showed no signs of rust or corrosion and the TPRV temperature pressure relief valve were noted and at a proper location. Hot water was received at all plumbing fixtures in the home.



Figure 29-1

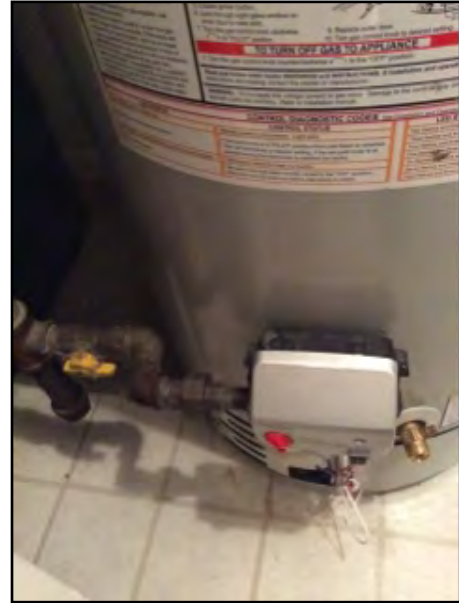


Figure 29-2



Figure 29-3

(Plumbing continued)

Private Water Supply

Water Supply Type:	
Well Type:	Drilled 200-1000
Well Head:	Present outside
	Condition: Satisfactory
Well Head Condition:	
	Condition: Satisfactory
Location Of Well Head:	Outside
Well Components:	Tank , Control box, Disconnect switch, Pressure gauge
	Condition: Marginal
Condition Of Well Components:	
	Condition: Satisfactory
Well Cycles Within A Minute:	Yes
Pressure Gauge:	30-50psi
Well Flow Test:	
If private,evidence is:	Well head



Comment 30:

Electric control box is missing a cover for the well tank. Recommend electrician to find and install cover.



Figure 30-1

(Private Water Supply continued)



Comment 31:

The well tank is in satisfactory condition with no visible signs of rust on the tank. Water was ran for 30 minutes and had adequate pressure. The main shut off lever for the water supply is rusted and corroded. Recommend plumbing contractor to evaluate and repair as necessary.



Figure 31-1



Figure 31-2



Comment 32:

Electrical outlet is in close proximity to the well tank and is not a GFCI protected outlet. Recommend electrician to install GFI outlet.



Figure 32-1

HVAC

HVAC System Type:

Central Split System



Comment 33:

System was not operated due to the outside ambient temperature was below 65 degrees within the last 24 hours. Recommend testing unit before closing by a qualified HVAC contractor.

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Laundry Room
Type of Equipment:	Boiler
	Condition: Marginal
Manufacturer:	Weil McLain
Heating System Type:	Forced hot water
	Condition: Satisfactory
Heating Fuel:	Gas
Approximate Age Of Unit:	Midlife
	Condition: Marginal
Flue Pipe Condition:	
	Condition: Satisfactory
Flue Pipes:	Noted and pitched up to chimney, Galvanized pipe
	Condition: Satisfactory
Air Supply Combustion:	Exterior
	Condition: Further Evaluation Required
Type Of Heat Distribution:	Baseboard convectors in most rooms
	Condition: Satisfactory
Emergency Shut Off:	Noted on wall in laundry room
Safety Extension:	Present
	Condition: Satisfactory
Boiler Safety Relief Valve:	Not noted
Gas Line Drip Leg:	Noted
	Condition: Satisfactory
Thermostat Was Turned On, The System:	Fired or gave heat
	Condition: Satisfactory

(Heating continued)



Comment 34:

The pressure relief valve leading from the boiler to the hot water maker is rusted and there is evidence of water leak. There was no pipe extending to the floor for the TPRV on the boiler. Recommend plumber to repair as necessary

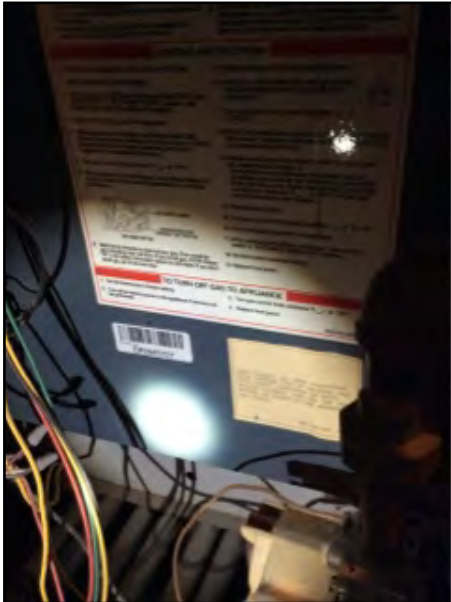


Figure 34-1



Figure 34-2

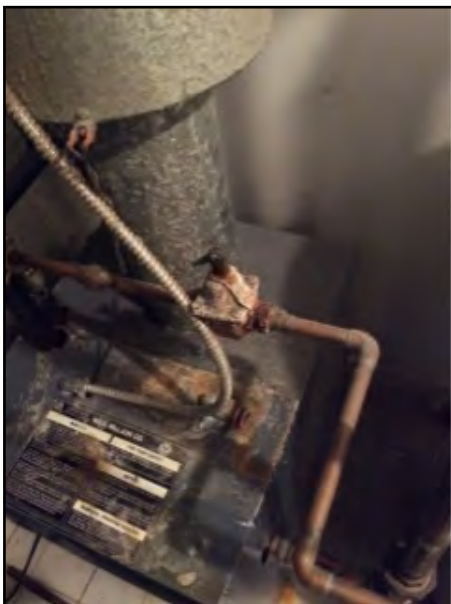


Figure 34-3

(Heating continued)



Comment 35:

There was a vent pipe exposed in the ceiling of the laundry room next to the boiler. It appears that this is providing ventilation for the interior boiler and laundry room. Recommend HVAC contractor to determine if the vent pipe vents to the exterior.



Figure 35-1



Comment 36:

Flue pipes from the boiler which carry carbon monoxide gases to the exterior are pitched and sealed properly and in good condition.



Figure 36-1

(Heating continued)



Comment 37:

There was one emergency switch for the oil burner located on the wall in the laundry room.



Figure 37-1

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Marginal
Approximate Age Of System:	Older
	Condition: Marginal
Condenser Make:	Lennox
Condensor Size:	
Expansion Coil Make:	Lennox
Expansion Coil Size:	Not Inspected
Condesate Drainage:	To Waste Drain
	Condition: Satisfactory
Condenser Unit Number:	
Condenser Location:	Side of house
	Condition: Marginal

(Cooling continued)

Condenser Condition:

Condition: Marginal

Evaporator Location(s):

Not Inspected

Evaporator Make:

Evaporator(s) Coil Size:

Evaporator Apparent Age:

Evaporator Condition:

Status Of A/C During Inspection:

Conditioned Air:



Comment 38:

Did not operate air conditioning unit due to the ambient temperature being below 65°.



Figure 38-1



Figure 38-2

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Basement Full Bathroom

New Item:

Bathroom Location:

Ground level

Shower:

With tub

Condition: Satisfactory

Shower Walls:

Ceramic/ porcelain Tile

Condition: Satisfactory

Shower Wall Condition:

Condition: Satisfactory

Shower Floor:

Not Present

Sink(s) Type:

Vanity

Condition: Satisfactory

Number Of Sinks:

One

Sink Condition:

No visible leaks at time of inspection

Condition: Satisfactory

Toilet:

Flushed

Condition: Satisfactory

Toilet Condition:

Good

Floor:

Ceramic tile

Condition: Satisfactory

Floor Condition:

Good

Leaks:

None noted

Caulking Appears:

Intact

Ventilation Type:

Fan

Condition: Marginal

Outlet(s):

One

GFCI Protection:

Not Present

Functional Flow Test:



Comment 39:

The outlet in the downstairs bathroom was not a GFCI outlet. This is a safety issue. All outlets near a water source must be GFCI. Recommend electrician to install GFCI protected outlet.



Comment 40:

The trip lever on the bathtub was missing. Recommend plumber to repair as necessary.

First Floor Full Bathroom

New Item:
 Bathroom Location: First floor
 Condition: Satisfactory
 Shower: With tub
 Condition: Newer/Good condition
 Shower Walls: Ceramic/ porcelain Tile
 Condition: Newer / Good condition
 Shower Wall Condition: Good
 Shower Floor: Not Present
 Sink(s) Type: Vanity
 Condition: Newer/Good condition
 Number Of Sinks: One
 Condition: Newer/Good condition
 Sink Condition: No visible leaks at time of inspection
 Toilet: Flushed
 Toilet Condition: Good
 Floor: Ceramic tile
 Condition: Newer/good condition
 Floor Condition: Good
 Leaks: None noted
 Caulking Appears: Intact
 Ventilation Type: Fan
 Outlet(s): One
 Condition: Satisfactory
 GFCI Protection: Present and working
 Functional Flow Test: Acceptable drop in pressure

(First Floor Full Bathroom continued)



Comment 41:

The first floor bathroom was in good condition with no apparent defects . All fixtures were tested and found no leaks. The bathroom had an exhaust fan for ventilation and had no visible signs of mold or mildew.

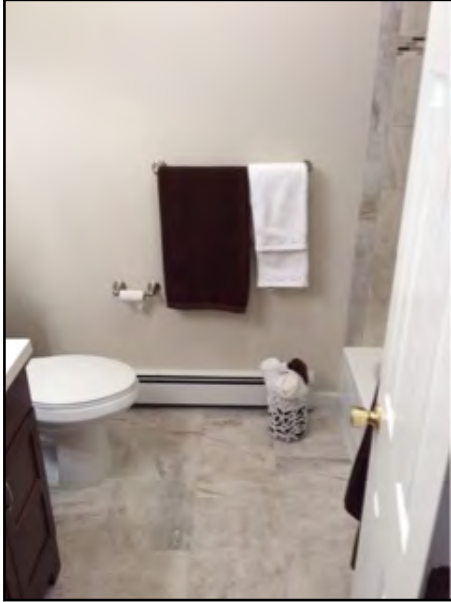


Figure 41-1

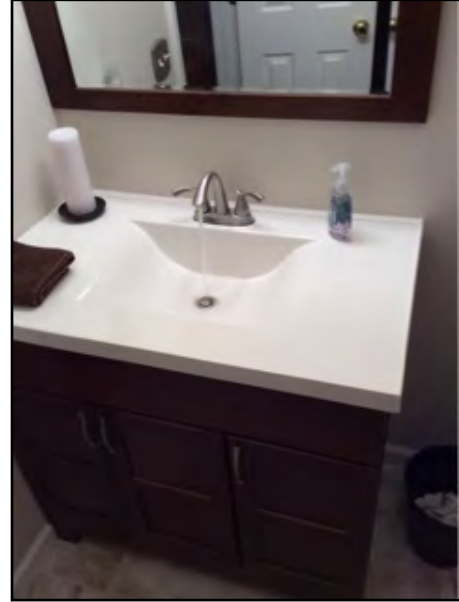


Figure 41-2

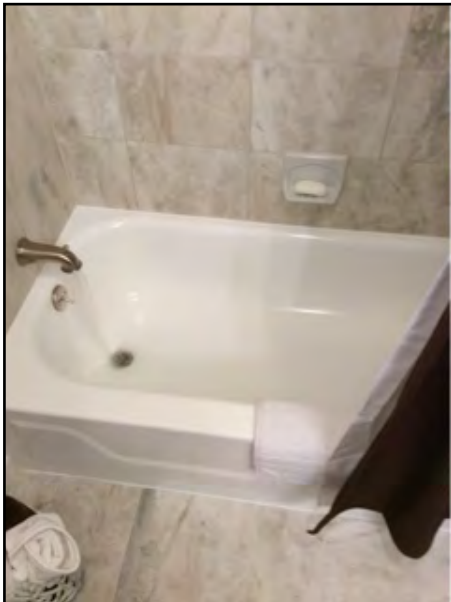


Figure 41-3

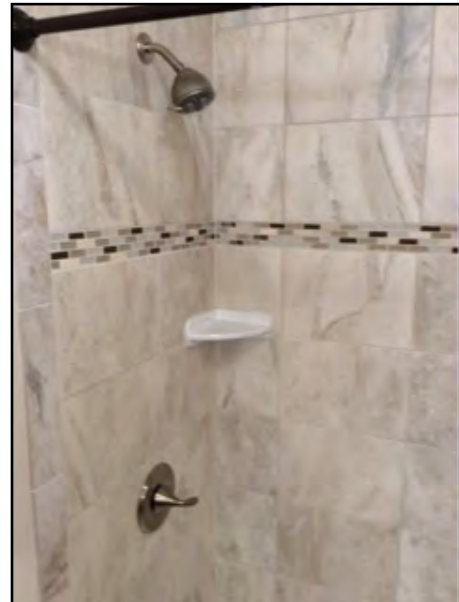


Figure 41-4

Master Bathroom

New Item:	
Bathroom Location:	Second floor
	Condition: Satisfactory
Shower:	Stall
	Condition: Satisfactory
Shower Walls:	Ceramic/ porcelain Tile
	Condition: Satisfactory
Shower Wall Condition:	
	Condition: Satisfactory
Shower Floor:	Vinyl/ acrylic base
	Condition: Satisfactory
Sink(s) Type:	Vanity
	Condition: Satisfactory
Number Of Sinks:	Two
	Condition: Satisfactory
Sink Condition:	
	Condition: Satisfactory
Toilet:	Flushed
	Condition: Satisfactory
Toilet Condition:	
	Condition: Satisfactory
Floor:	Ceramic tile
	Condition: Satisfactory
Floor Condition:	
	Condition: Satisfactory
Leaks:	None noted
Caulking Appears:	Intact
	Condition: Satisfactory
Ventilation Type:	Window
	Condition: Satisfactory
Outlet(s):	One
	Condition: Satisfactory
GFCI Protection:	Present and working
	Condition: Satisfactory
Functional Flow Test:	No drop in pressure, Acceptable drop in pressure

(Master Bathroom continued)



Comment 42:

The master bathroom fixtures appear to be in good working condition with no leaks noted at the sinks, toilet and shower. There was an exhaust fan for ventilation and no mold or mildew was noted on the walls and ceiling.



Figure 42-1



Figure 42-2

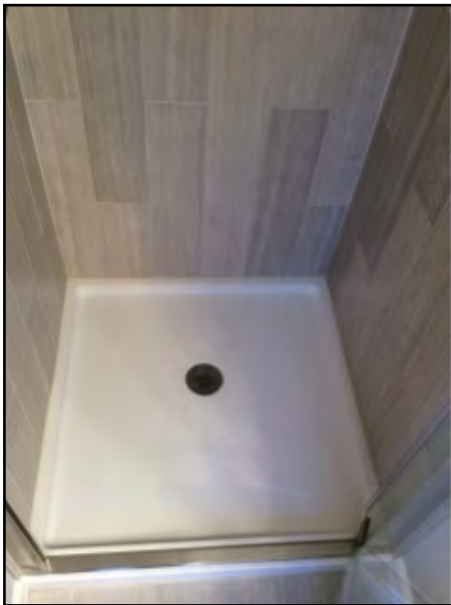


Figure 42-3

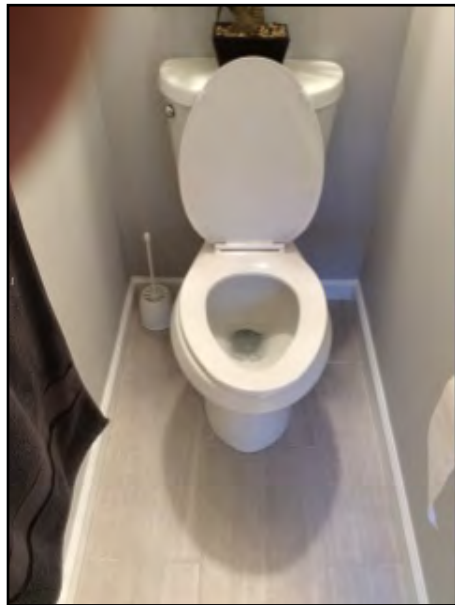


Figure 42-4

(Master Bathroom continued)



Comment 43:

The GFCI outlet in the master bathroom is present and is in working condition at time of inspection.

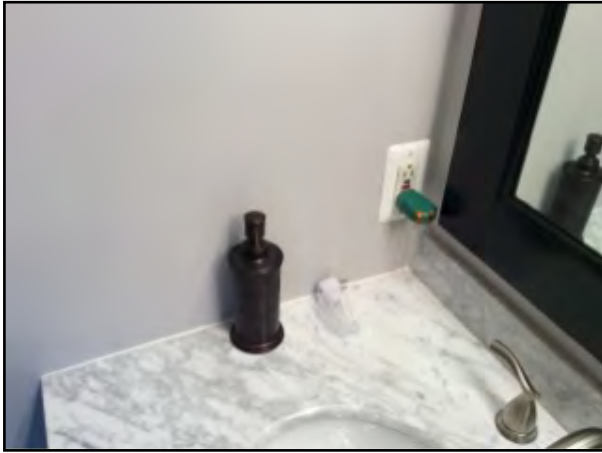


Figure 43-1

Kitchen

Cabinets:	Wood Condition: Satisfactory
Cabinets Condition:	Opened and closed properly Condition: Satisfactory
Countertops:	Granite Condition: Satisfactory
Cabinets Are Securely Fastened To Wall:	Yes Condition: Satisfactory
Countertop Condition:	Condition: Satisfactory
Countertops Securely Fastened:	Condition: Satisfactory
Kitchen Floor:	Ceramic/ porcelain tile Condition: Satisfactory
Kitchen Sink:	Single Condition: Satisfactory
Kitchen Sink Material:	Stainless steel Condition: Satisfactory
Kitchen Sink Condition:	Condition: Satisfactory

(Kitchen continued)

Ran Water At Sink And Found::	No leaks at time of inspection Condition: Satisfactory
Operated Range And Found::	Working properly Condition: Satisfactory
Range Or Cooktop Ventilation:	Vented to exterior Condition: Satisfactory
Number Of Regular Outlets:	Three or more Condition: Satisfactory
Number Of GFCI Outlets:	Three or more Condition: Satisfactory
GFCI Outlets Working Properly:	Yes Condition: Satisfactory



Comment 44:

Kitchen sink is functional with no evidence of a water leak. There is an old water stain on the ceiling below the kitchen and it appears to be an old stain.

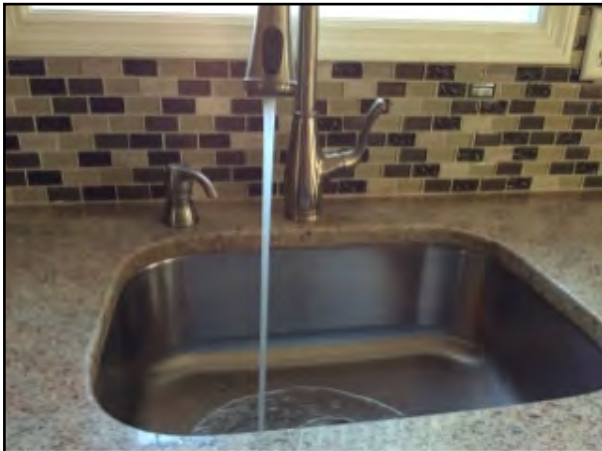


Figure 44-1



Figure 44-2

(Kitchen continued)

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:	Maytag Condition: Satisfactory
Oven Age:	Newer Condition: Satisfactory
Oven Operated And Gave Off Heat:	Yes Condition: Satisfactory
Operated Oven And Did Not Give Off Heat:	
Range:	Maytag Condition: Satisfactory
Range Age:	Newer Condition: Satisfactory
Range Hood:	Maytag Condition: Satisfactory
Operated Range And Found:	All burners working Condition: Satisfactory
Range Hood Age:	Newer Condition: Satisfactory
Refrigerator:	Maytag Condition: Satisfactory
Refrigerator Age:	Newer Condition: Satisfactory
Microwave:	Maytag Condition: Satisfactory
Microwave Age:	Newer Condition: Satisfactory
Dishwasher:	Maytag Condition: Satisfactory
Dishwasher Age:	Condition: Satisfactory

(Appliances continued)



Comment 45:

All kitchen appliances were tested and in good working condition at the time of inspection. The gas stove was vented to the exterior by a microwave exhaust fan and operated properly.



Figure 45-1



Figure 45-2



Figure 45-3



Figure 45-4

Laundry

Laundry Location:	Lower level in mechanical room
	Condition: Satisfactory
Built In Cabinets:	Not Present
Washer Brand Name:	LG
	Condition: Satisfactory
Washing Machine Approximate Age:	Newer
	Condition: Satisfactory
Laundry Hook Ups:	
	Condition: Satisfactory
Dryer Brand Name:	Kenmore
	Condition: Satisfactory
Connections For Water, Drain and Electric:	Condition: Safety Hazard
Dryer Approximate Age:	Midlife
	Condition: Satisfactory
Dryer Power:	Electric
	Condition: Satisfactory
Dryer Venting:	To Exterior
	Condition: Satisfactory
Drain Pipe And Electric:	Are too close
Dryer Venting Material:	Rigid metal/ solid pipe
	Condition: Satisfactory
Operated Washer And Dryer:	Yes, worked as designed, In use at time of inspection
	Condition: Satisfactory
GFCI Protection:	Not Present



Comment 46:

The outlet in the laundry room is in close proximity to the water source for the washing machine. This is a safety issue. Recommend electrician to install a GFCI outlet in laundry room.

(Laundry continued)

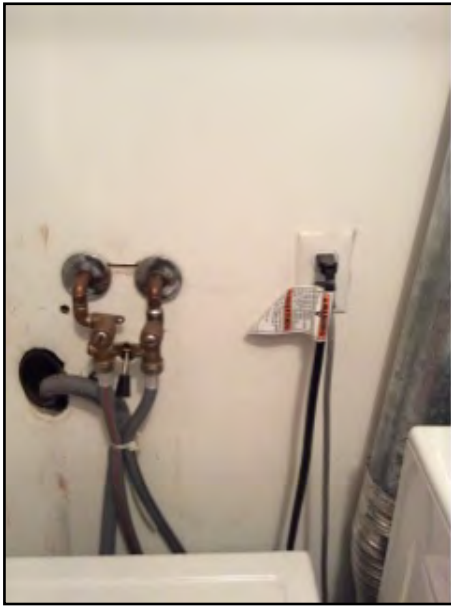


Figure 46-1



Comment 47:

The laundry area is located in the lower level in the mechanical room. The washer and dryer were in use at the time of inspection. There were no leaks at the washing machine connections. The dryer was vented to the exterior with a solid pipe.

General Interior

New Item:	
Ceilings:	Drywall
Ceiling Style:	Flat
Ceiling Condition:	Condition: Satisfactory
Water Stains Noted On Ceiling:	Yes, In downstairs family room
Walls Appear To Be Made Of:	Drywall
Condition Of Walls:	Condition: Satisfactory
Floor Coverings:	Hardwood
	Condition: Satisfactory
Floors When Bounced On:	A normal amount of bounce

(General Interior continued)

Floors Generally Feel:	Condition: Satisfactory
Interior Door Material:	Hollow core Condition: Satisfactory
Interior Door Condition:	Condition: Satisfactory
Window Types:	Double hung Condition: Satisfactory
Window Materials:	Vinyl Condition: Satisfactory
Insulated Glazing Noted In::	All
Stairs:	Between living levels Condition: Satisfactory
Stairs Condition:	Condition: Satisfactory
Stairs Handrail:	Good condition Condition: Satisfactory
Outlets :	Three pronged Condition: Satisfactory
Skylights:	Appear Fixed Condition: Satisfactory
Skylight Leaks:	None noted
Smoke Detectors:	Noted on each floor
Carbon Monoxide Detectors:	Noted

**Comment 48:**

The interior was in overall good condition with no major defects noted. Ceilings and walls are sheetrock and are in good condition. All floor surfaces were level with no bounce and were in good condition. The electrical outlets were three pronged grounded outlets and randomly tested with no defects on the tested outlets. Windows are vinyl insulated and were randomly tested and operated properly.

(General Interior continued)

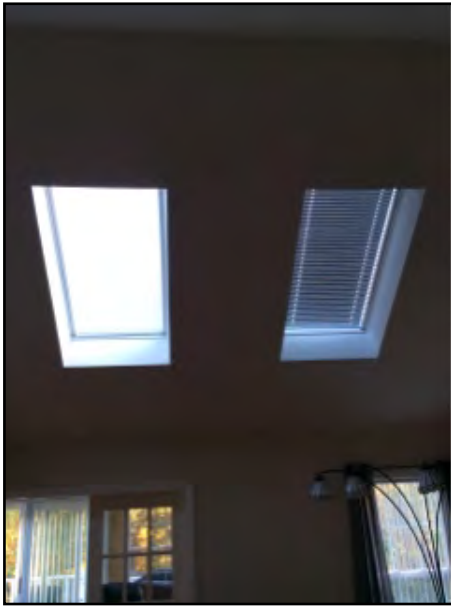


Figure 48-1

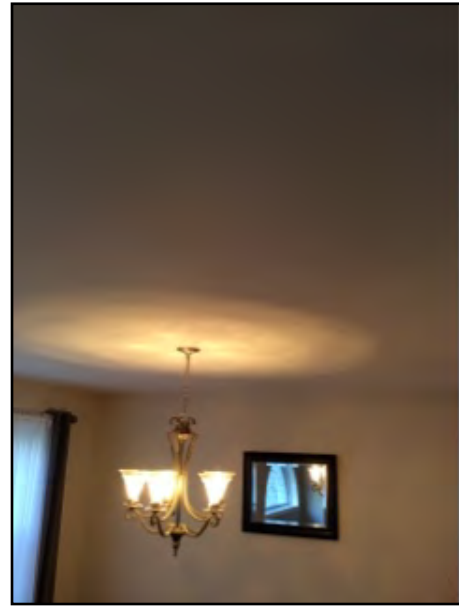


Figure 48-2

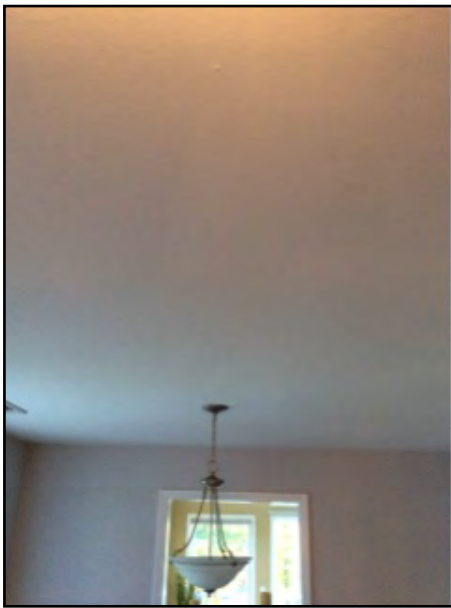


Figure 48-3

(General Interior continued)



Comment 49:

Bedrooms and upstairs hallway had operating smoke detectors and carbon monoxide detectors and were operating at the time of inspection. Smoke and carbon monoxide batteries should be changed and tested often to ensure they are operational.



Figure 49-1



Comment 50:

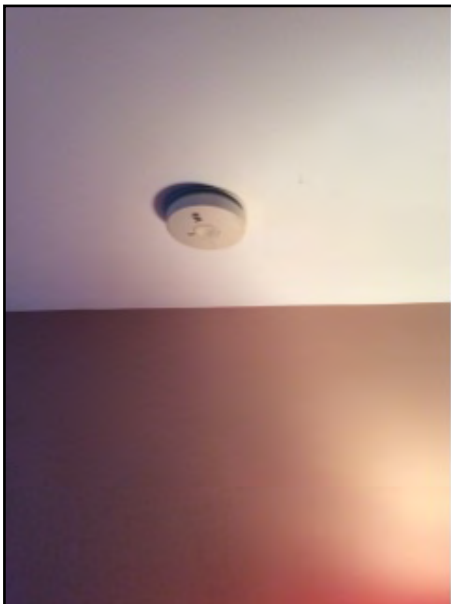


Figure 50-1

(General Interior continued)



Comment 51:

The four seasons sunroom is in good condition with no major defects noted. The floor had radiant heat and appeared to be working properly on the day of inspection. However, there is a small water stain noted at bottom of skylight on the left side. Recommend monitoring during next rain to see if this is an active leak.

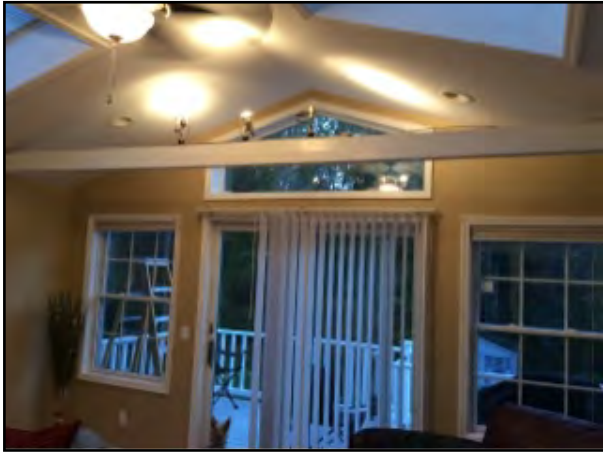


Figure 51-1

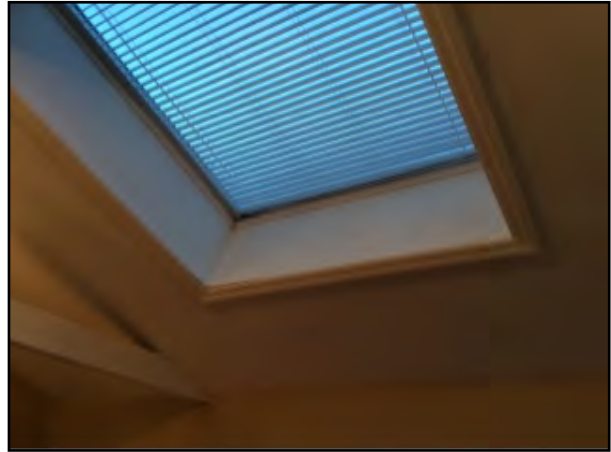


Figure 51-2

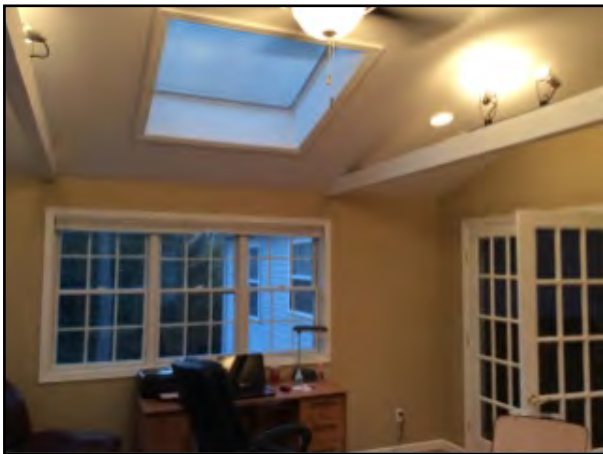


Figure 51-3

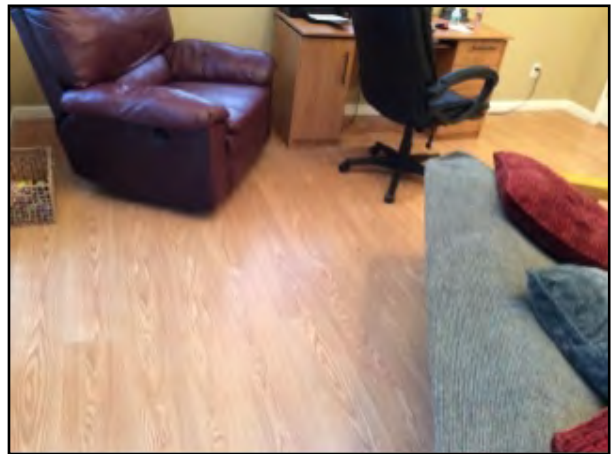


Figure 51-4

Safety Concerns

New Item:

Outlets Were Tested For GFCI:

Using a testing plug
Condition: Satisfactory

Smoke Detectors Noted:

In each bedroom, On each floor, Battery operated
Condition: Satisfactory

(Safety Concerns continued)

Smoke Detectors Installed: On ceiling
Condition: Satisfactory
Carbon Monoxide Detectors Noted: On first floor, On second floor
Condition: Satisfactory

Excluded From Inspection

New Item:

Shed:

Water Softener:

Septic System:

Water Treatment System:

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Roofing And Ventilation

1)
One or more sections of the roof covering in the front of the house appears to be stained with an algae or fungus like substance. The staining and discoloration is more or a cosmetic and aesthetic issue than a defect. Recommend a qualified contractor or professional cleaning company to evaluate and make recommendations.



Figure 1-1

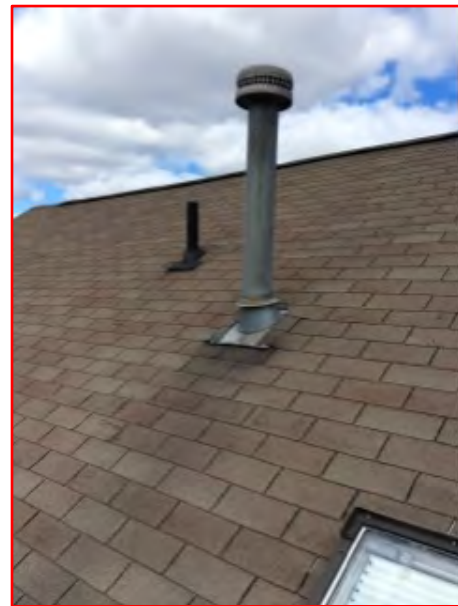


Figure 1-2

(Report Summary continued)



Figure 1-3

Exterior Walls

2)

One vinyl double hung window on the ground level has a broken window pane. Repair and replace as necessary.



Figure 2-1

3) There were two exhaust vents that were stuck in the open position. One vent appears to be a dryer vent and the other could be the air intake from the mechanical room. Recommend qualified contractor to clean duct and repair as necessary.

(Report Summary continued)



Figure 3-1

4)

The outlet under the deck is not a GFCI protected outlet. All exterior outlets must be GFCI protected. Recommend electrician to install GFCI receptacle and repair as necessary.



Figure 4-1

5)

The storm door on the garage side of the house did not operate properly. Recommend contractor to repair as necessary.

(Report Summary continued)

Exterior Grounds

6)

The exterior foundation walls are made up of concrete block. There are some areas that have loose or missing stucco. Recommend mason contractor to repair as necessary.

7)



Figure 7-1

8)

The driveway is an asphalt driveway in marginal condition. There are numerous cracks and areas of settlement in the driveway especially in front of the left side of the garage door. Recommend asphalt contractor to repair as necessary.

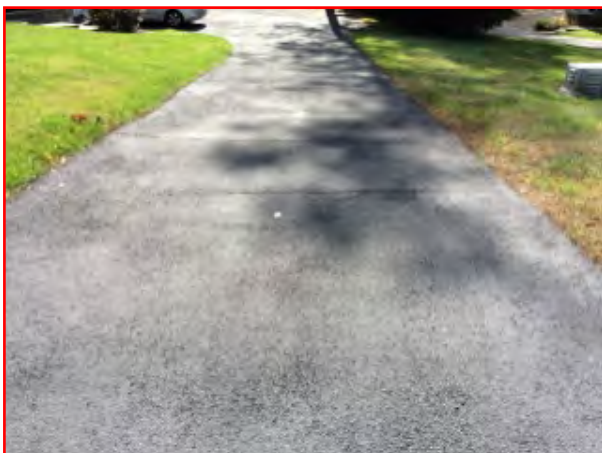


Figure 8-1



Figure 8-2

(Report Summary continued)



Figure 8-3

9) There is a missing switch plate cover for an outside power source to an abandoned pool. Recommending replacing and repairing as necessary by qualified electrician.



Figure 9-1

10)
The deck consists of pressure treated framework with composite decking. The deck, support posts, girders, stairs and railings appear to be in good condition.

(Report Summary continued)



Figure 10-1



Figure 10-2



Figure 10-3



Figure 10-4



Figure 10-5

(Report Summary continued)

11)

The air conditioning condenser is in marginal condition with some rust noted. The unit cannot be tested due to the ambient temperature being below 65° Recommend qualified HVAC contractor to test the near future.



Figure 11-1



Figure 11-2



Figure 11-3

12)

The refrigerant line to the AC condenser is missing insulation. Recommending HVAC contractor to repair as necessary.

(Report Summary continued)



Figure 12-1

13)

The well head cap located in the front yard is not a sanitary well cap. This can allow bacteria and other elements to infiltrate the water supply. This is a health issue and recommend qualified well contractor to assess and make recommendation.



Figure 13-1

(Report Summary continued)

Attached garage

14)

Garage ceiling outlet is missing switch plate cover. Recommend electrician to repair and replace as necessary with new switch plate cover.



Figure 14-1

15) The interior garage door was a fire rated door however it not self close. Recommend carpenter contractor to repair as necessary.

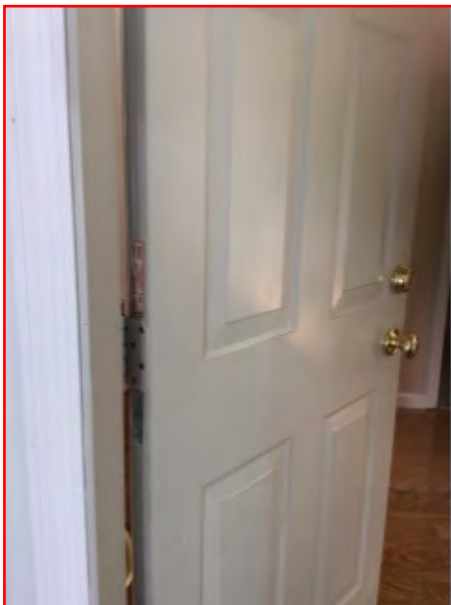


Figure 15-1

16)

The garage ceiling had an area missing sheet rock above the electric panel. This can allow exhaust fumes to enter the living space above. Recommend contractor to repair as necessary.

(Report Summary continued)



Figure 16-1



Figure 16-2

17)

The window in the storage room next to the garage has a broken window pane. Recommend qualified contractor to repair as necessary.

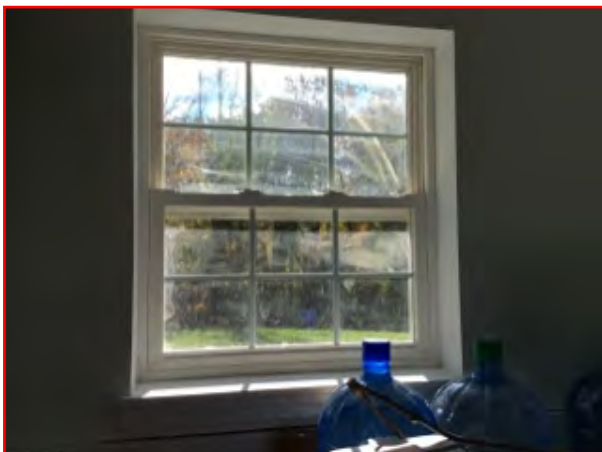


Figure 17-1

18)

There were a total of three outlets in the garage on the walls and two outlets on the ceiling. All outlets in a garage must be GFCI protected. Recommend electrician to replace outlets with GFCI protected outlets.

(Report Summary continued)



Figure 18-1



Figure 18-2



Figure 18-3

(Report Summary continued)

Attic

19)



Figure 19-1

20)

The attic floor had areas of missing plywood around attic stair entryway. If attic is going to be used as a storage area recommend installing plywood floor to avoid falling into the ceiling below.

Plumbing: Private Water Supply

21)

Electric control box is missing a cover for the well tank. Recommend electrician to find and install cover.

(Report Summary continued)



Figure 21-1

22)

The well tank is in satisfactory condition with no visible signs of rust on the tank. Water was ran for 30 minutes and had adequate pressure. The main shut off lever for the water supply is rusted and corroded. Recommend plumbing contractor to evaluate and repair as necessary.



Figure 22-1



Figure 22-2

23)

Electrical outlet is in close proximity to the well tank and is not a GFCI protected outlet. Recommend electrician to install GFI outlet.

(Report Summary continued)



Figure 23-1

HVAC: Heating

24)

The pressure relief valve leading from the boiler to the hot water maker is rusted and there is evidence of water leak. There was no pipe extending to the floor for the TPRV on the boiler. Recommend plumber to repair as necessary

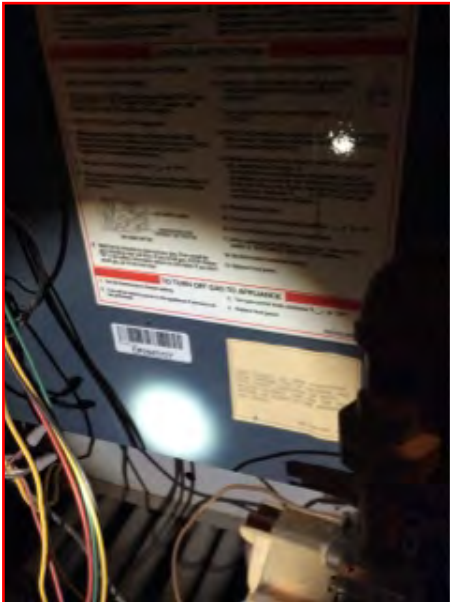


Figure 24-1



Figure 24-2

(Report Summary continued)



Figure 24-3

Basement Full Bathroom

25)

The outlet in the downstairs bathroom was not a GFCI outlet. This is a safety issue. All outlets near a water source must be GFCI. Recommend electrician to install GFCI protected outlet.

26) The trip lever on the bathtub was missing. Recommend plumber to repair as necessary.

Laundry

27)

The outlet in the laundry room is in close proximity to the water source for the washing machine. This is a safety issue. Recommend electrician to install a GFCI outlet in laundry room.

(Report Summary continued)

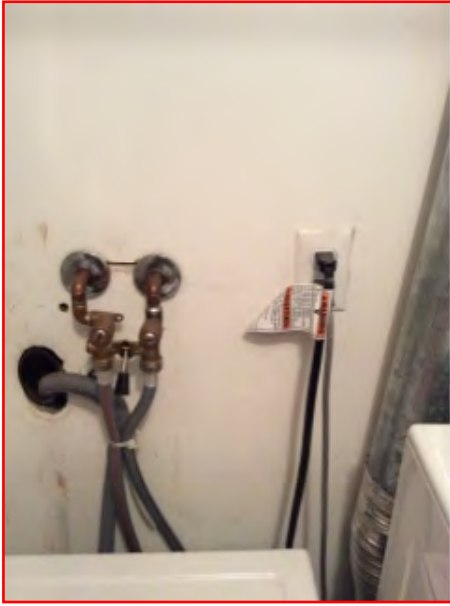


Figure 27-1

General Interior

28)

The interior was in overall good condition with no major defects noted. Ceilings and walls are sheetrock and are in good condition. All floor surfaces were level with no bounce and were in good condition. The electrical outlets were three pronged grounded outlets and randomly tested with no defects on the tested outlets. Windows are vinyl insulated and were randomly tested and operated properly.

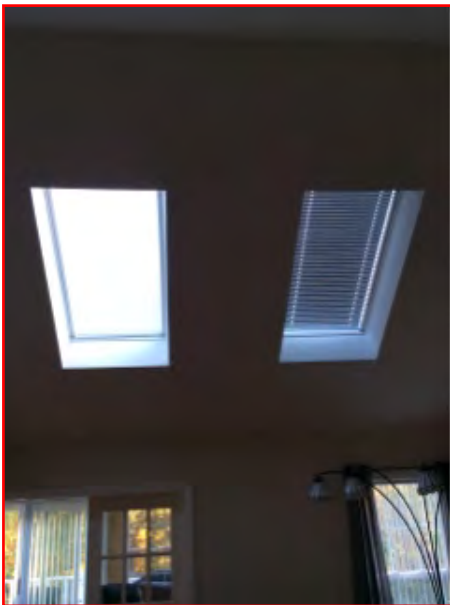


Figure 28-1

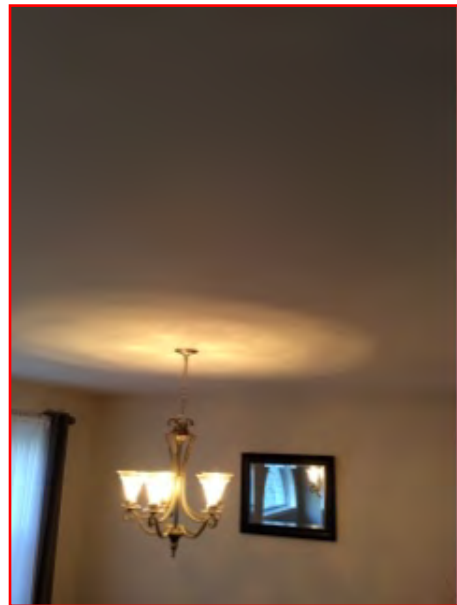


Figure 28-2

(Report Summary continued)

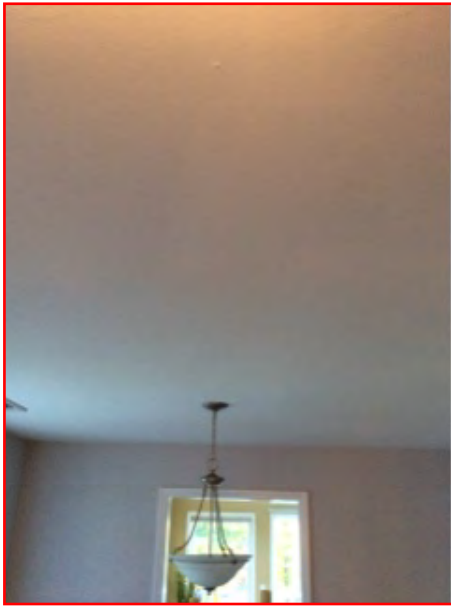


Figure 28-3

29)

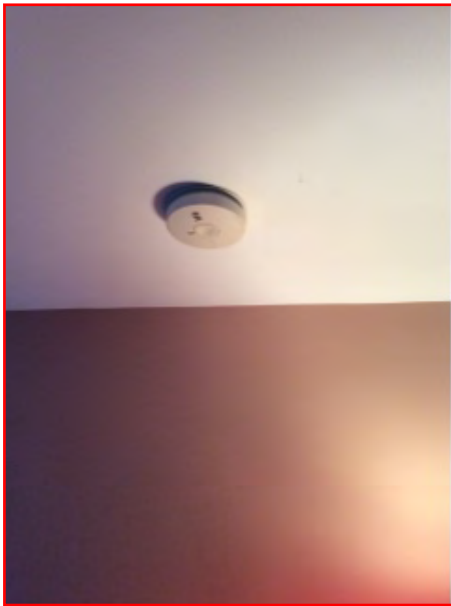


Figure 29-1